

Accessible toilets



We are currently seeing an increase in issues with accessible toilets during inspections.

Increasingly toilet pans are being installed 800mm from the back wall to the front of the pan.

These pans are popular as they are one of the few pans that have a compliant flushing mechanism. Although compliant with Australian Standard AS1428.1-2009, the standard also has a hidden consequence – if you use a longer pan you also need to increase the room length to accommodate for this.

Acceptable solution

The acceptable solution G1/AS1 and NZS 4121:2001 calls for:

- The front of a toilet pan to be 700-750mm from the back wall, and a minimum room length of 1900mm.
- 800mm pans approved to the Australian standard AS1428.1-2009 can be used (alternative solution), however the room floor plan must be increased to allow for the reduced clearance in the facility. In addition the following must also be applied:
 - A back rest must be installed as detailed in figure 39, AS/1428:2009
 - Grab rail position must be maintained as shown in either G1/AS1 or NZS 4121:2001.

Helpful tips

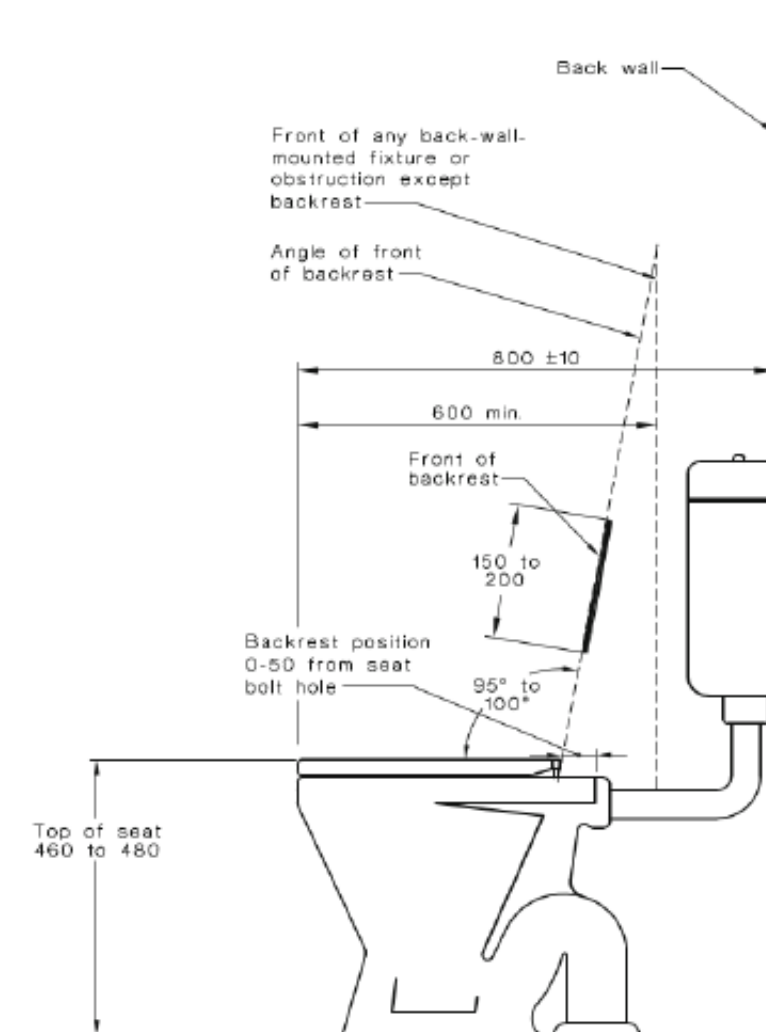
- When assessing whether a fitting or fixture will pass the test for being ‘easily operable’, ask yourself – can you operate it successfully with your elbow?
- Note that all floor plan sizes provided in both G1/AS1 and NZS 4121:2001 are minimums. NZS4241:1999 (public toilets) provides examples of accessible toilet unit floor dimensions that are based on experience and are greater than the minimum requirements.
- The accessible room dimensions are minimums and they are for the finished room, so allowance needs to be made for wall linings, tiles, skirting/coving etc.

Please note that the information provided here is specific to accessible toilets. There are similar requirements for accessible showers and wash hand basins. [Further information and critical dimensions](#) can be found in figures 5-9 G1/AS1 which can be found [here](#)

Required dimensions

AS 1428.1-2009

A1



(b) Side view

DIMENSIONS IN MILLIMETRES

FIGURE 39 (in part) WATER CLOSET INSTALLATION

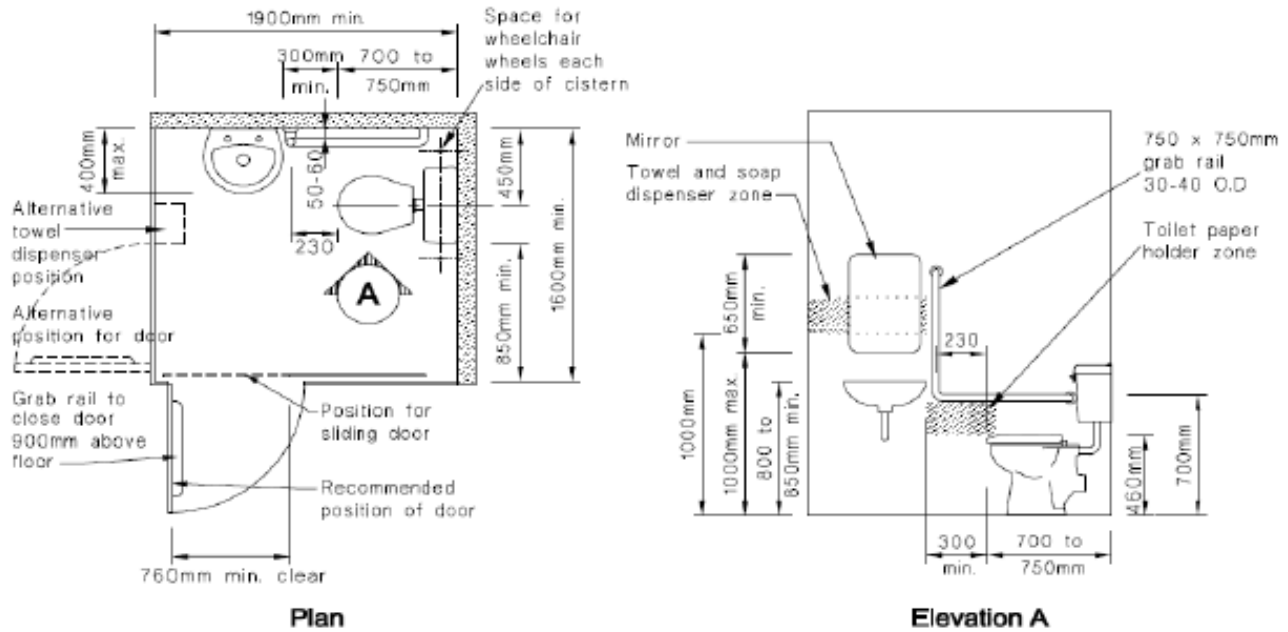
15.2.5 Flushing control

Flushing controls shall be user activated, either hand operated or automatic. Where hand-operated flushing controls are used, they shall be located within the zone shown in Figure 40, or centred on the centre-line of the toilet, wholly within the vertical limits of that zone. The position of the flushing control within this zone shall not be within the area required for any grabrails or backrest. The flushing control shall be proud of the surface and shall activate the flush before the button becomes level with the surrounding surface.

A1

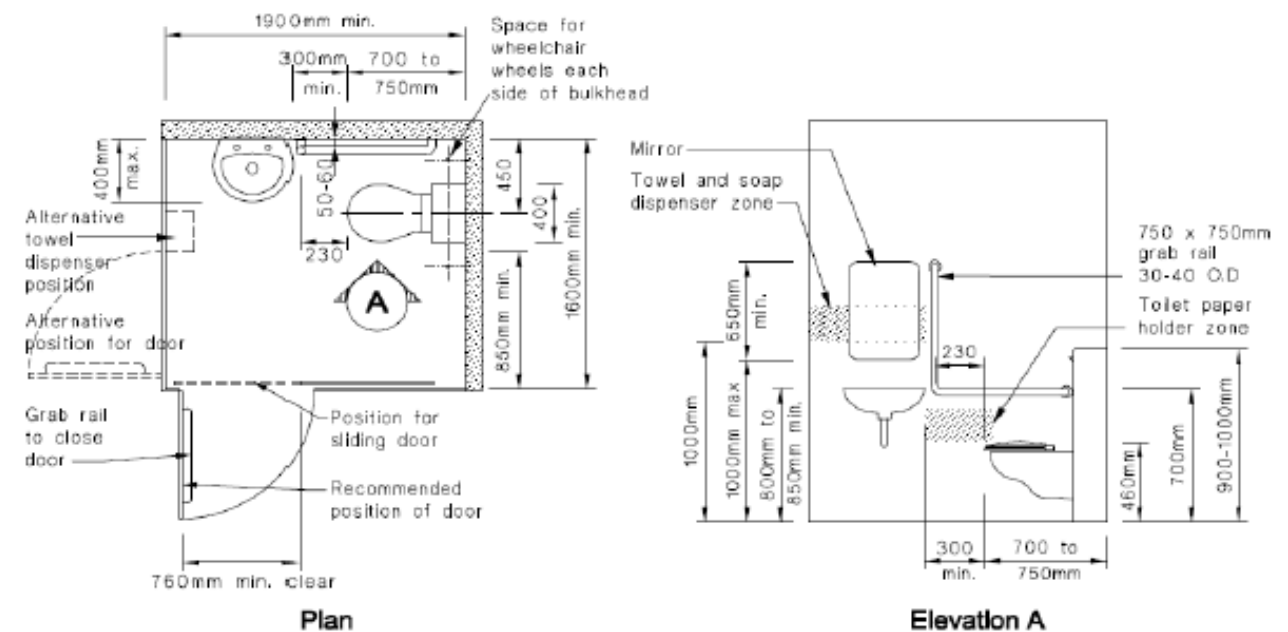
Figures 6 and 7 from the New Zealand building code clause G1/AS1. Note the floor plan sizes are minimum dimensions.

Figure 6: Accessible Toilet Compartment
Paragraph 4.2.2 and Table 1



Soap dispenser to be positioned in the zone over wash hand basin but not over taps.
Bottom of soap and towel dispensers between 1000 and 1200mm above floor level.

Figure 7: Requirements for Accessible Wall Hung Pans
Paragraph 4.2.2, 4.2.8 and Table 1



Soap dispenser to be positioned in the zone over wash hand basin but not over taps.
Bottom of soap and towel dispensers between 1000 and 1200mm above floor level.

Other news

Reminders

Drainlayers beware – effluent bed filter sand

Is your filter sand (2A) up to specification for your effluent bed? A heads up for drainlayers – not all is what it seems. Ask for test results before you purchase.

Some product has been sold to drainlayers as 2A filter sand when in fact it does not appear to comply with the requirements of NZS4407 and AS/NZS1547, particularly around the size of the sand grains.

The sand sighted is very fine and binds together once wet and will likely form a crust. This prevents the correct filtering process from happening and eventually blocks the effluent bed, which can lead to system failure and become a substantial issue for the homeowner. There is evidence of some failures already in the Canterbury region.

Note that crushed glass may be used, however this must be signed off by the effluent system designer.

Why owner contact details are required on consent applications

When lodging PIMS and building consents please ensure you correctly provide Council with all contact details of the agent and owners.

The agent will be the first point of contact for communications with the Building Consent Authority regarding the applications and will receive all correspondence including all invoices unless requested otherwise.

On the application form please ensure you provide the name of the company under agent, and an individual's name for the contact person.

Owners contact details, including mailing address, email and phone number are required at time of application. This enables council to contact the owner should there be any further enquiries after the building consent has been issued.

By providing this information up front you will avoid creating unnecessary delays with the application.

Coloured writing on consent plans

Please ensure that all information on plans is clearly legible, preferably dark colours. We are seeing information such as datums, showing on plans in yellow, which are difficult to read. This can create delays at processing while clarity is sought.

What's in a name? Building inspections naming across Canterbury

We're aiming to make life easier for you when booking inspections. Inspections will be consistently named across the greater Canterbury region, from Ashburton to Waimakariri and Hurunui, and councils in between.

As a region we recognised the changes in construction over recent years. The result is standardisation in residential inspections to make it easier for businesses operating across Canterbury. There will be more standardised naming, and alongside this, uniformity in what is inspected. A [reference list](#) has been developed to highlight the main checks carried out during each inspection.

There are a couple of [exceptions to the checklists](#) and clarifications for Selwyn, which we have outlined on our website. It remains important to read your building consent construction documentation and advise notes to determine what inspections are required for your project.

Taking inspections reintroduced

A reminder that we have resumed tanking inspection (internal membranes) as per our communication at the start of September. The inspections will include (but not limited to):

- Bath plinths
- Tiles showers
- Wet floor showers
- Any tiled floor with a floor waste

For more detailed information on this, including guidelines, please refer to our customer information on [internal membrane inspections](#).