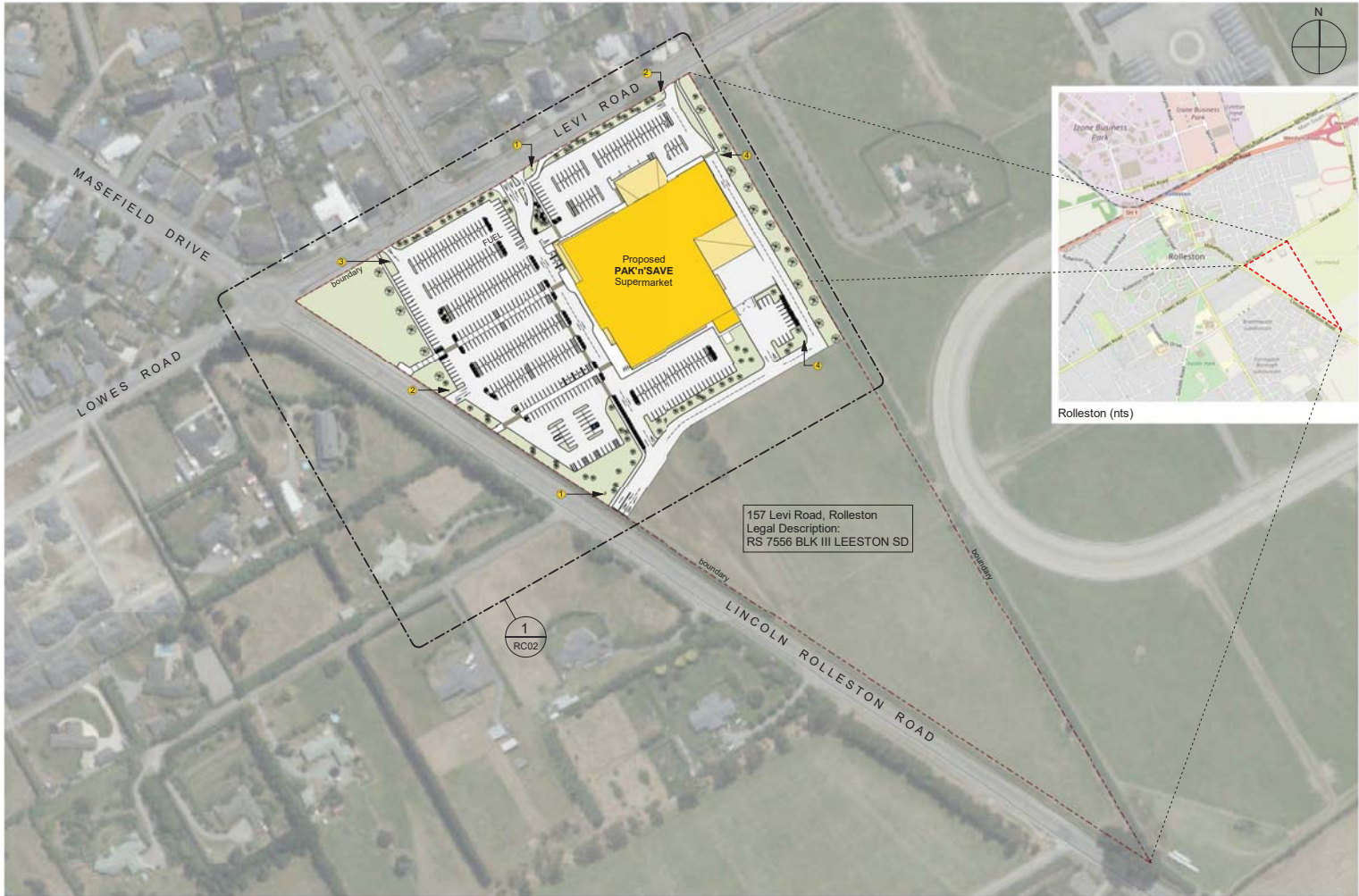




Appendix A

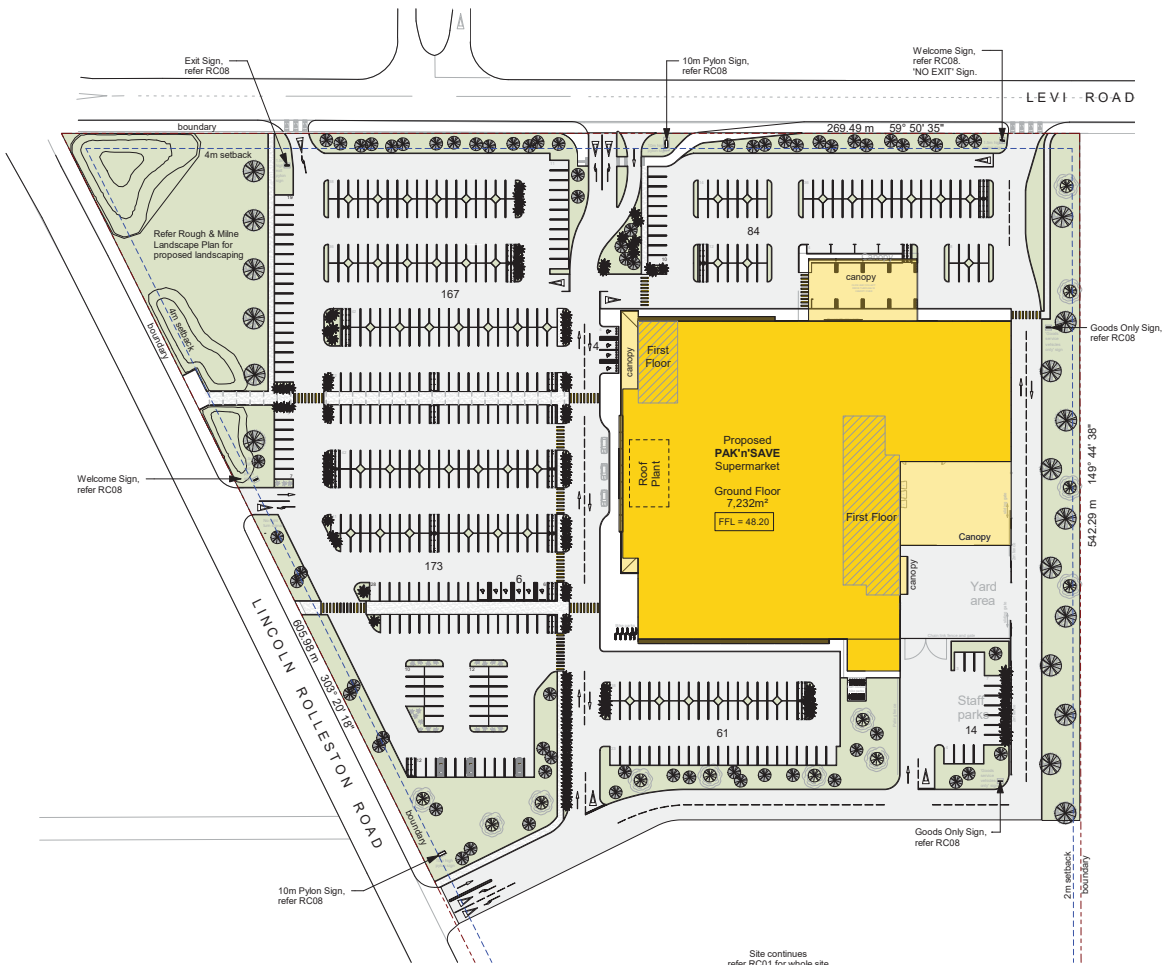
Architectural Drawings, Renders and Design Statement



PAK'nSAVE ROLLESTON NEW BUILD
Location Plan
scale 1:2000
project number 5798
printed 15/12/2021 11:17:28 am
status **RESOURCE CONSENT**

FOODSTUFFS
South Island
50mm (A3)
page scale

McCOY WIXON
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242 Stuart St, PO Box 1454, Dunedin 9101
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RC01
REV. 0



SITE INFO:

157 Levi Road
Rolleston, Selwyn District, Canterbury

Legal Description:
RS 7556 BLK III LEESTON SD

Building footprint area	7,232m ²
Mezzanine	876m ²
TOTAL	8,108m ²
Site Area	71,831m ²
Site Coverage	11.3%

PROPOSED CARPARKING NUMBERS:	
Carparks	485
Click & Collect	8
Accessible Carparks	10
Staff Carparks	14
TOTAL	517

PROPOSED CYCLE PARK NUMBERS:	
Cycle parks	10
Staff Cycle parks	14

SITE FENCES:
During construction site fences are to comply with NZBC F5/AS1 Construction and Demolition Hazards

BUILDING SIGNAGE AREAS:

South West Building Elevation Sign 1	39.75m ²
North West Building Elevation Sign 2	22.00m ²
TOTAL	61.75m ²

PAK'nSAVE ROLLESTON NEW BUILD

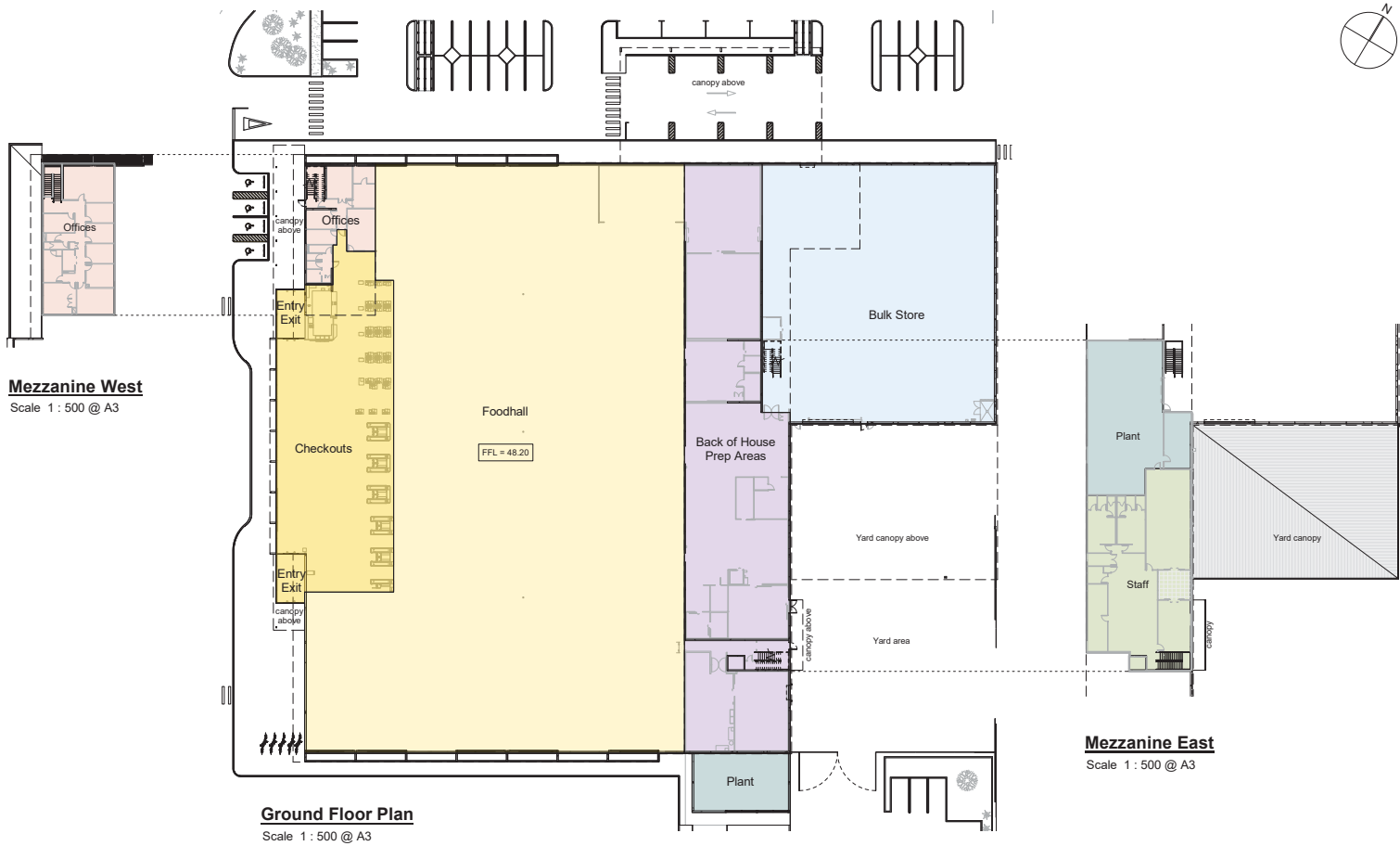
Site Plan
scale 1:1000
project number 5798
printed 15/12/2021 11:12:24 am
status RESOURCE CONSENT

FOODSTUFFS
South Island

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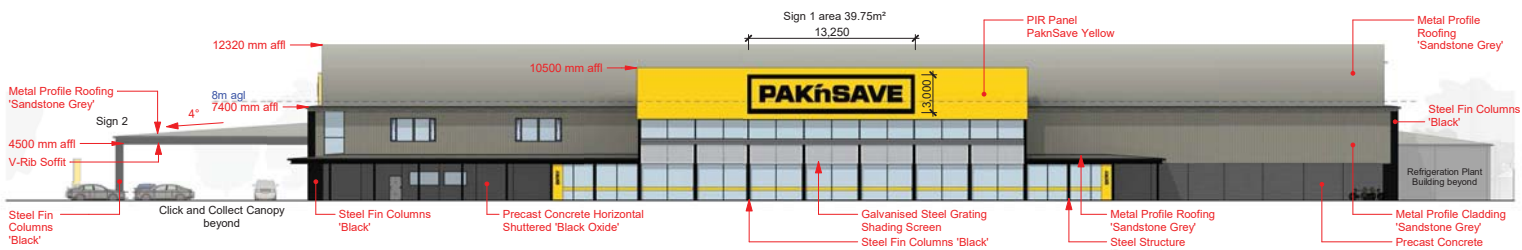
McCOY WIXON
ARCHITECTS

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RC02
REV. 0





South West Perspective Elevation



South West Elevation

Scale 1 : 300 @ A3

PAK'nSAVE ROLLESTON NEW BUILD

South West Elevation

scale 1 : 300
project number 5798
printed 15/12/2021 11:12:46 am
status **RESOURCE CONSENT**

FOODSTUFFS
South Island

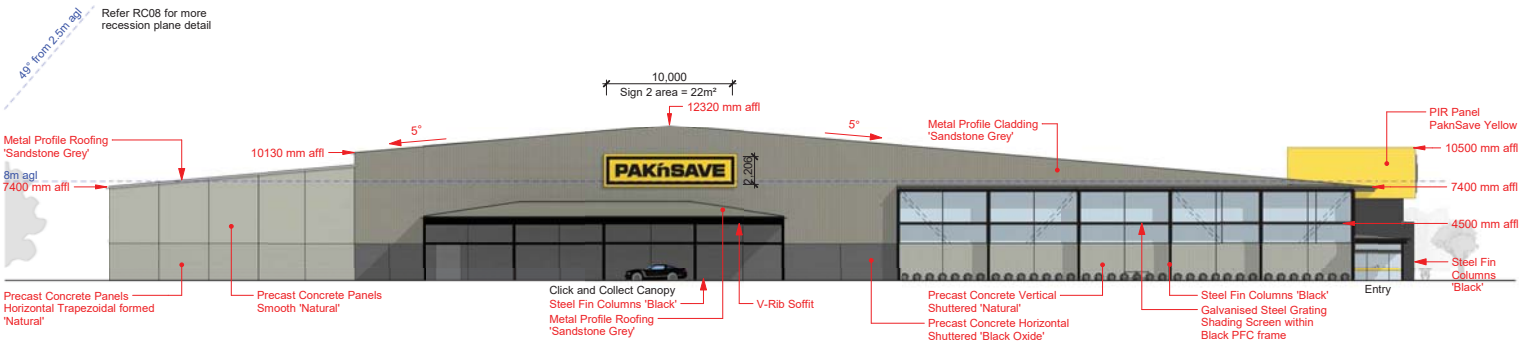
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RC04
REV. 0



North West Perspective Elevation

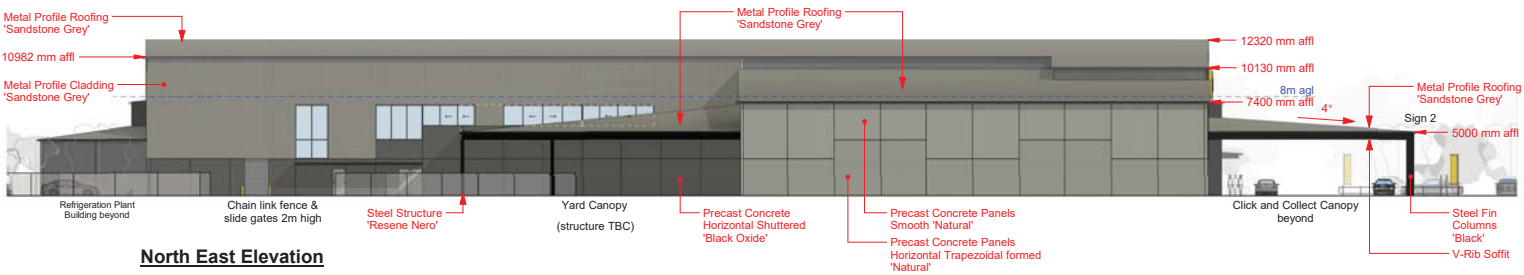


North West Elevation

Scale 1 : 300 @ A3



North East Perspective Elevation

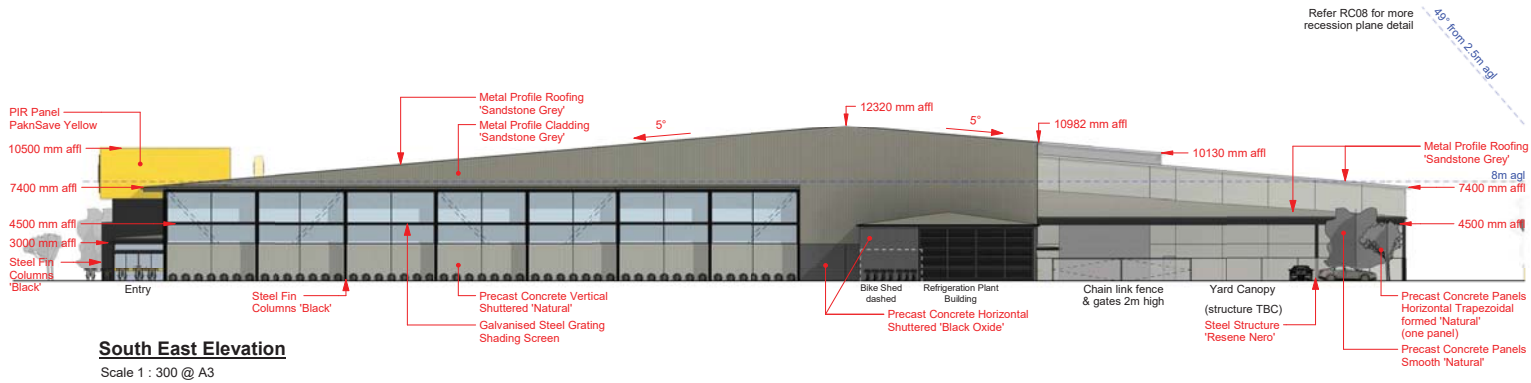


North East Elevation

Scale 1 : 300 @ A3



South East Perspective Elevation





View from Levi Road



Masfield Corner View



View from Lincoln Rolleston Rd



Steel Fin Columns
'Black'



Metal Profile Roofing & Cladding
'Sandstone Grey'



Precast Concrete Panels
Horizontal Trapezoidal formed 'Natural'



Metal grating screen
Galvanised



Precast Concrete Panels
Smooth 'Natural'



PAK'n SAVE Yellow



Precast Concrete Vertical
Shuttered 'Natural'



Precast Concrete Horizontal
Shuttered 'Black Oxide'



ROLLESTON PAK'nSAVE SUPERMARKET ARCHITECTURAL DESIGN STATEMENT

INTRODUCTION

This Architectural design statement has been prepared as part of the resource consent application for the proposed Rolleston PAK'nSAVE supermarket to be located at 157 Levi Road, Rolleston.

The following Architectural drawings form part of this statement:

RC01	Location Plan
RC02	Site Plan - Supermarket
RC03	Floor Plans
RC04	South West Elevation
RC05	North West Elevation
RC06	North East Elevation
RC07	South East Elevation
RC08	Perspective Views
RC09	Perspective Views
RC10	South West Site View
RC11	Exterior Materials

BACKGROUND

McCoy and Wixon Architects Ltd is responsible for the design of the following supermarkets for Foodstuffs (SI) Ltd, all in relative proximity to the proposed PAK'nSAVE Supermarket;

- New World Rolleston
- PAK'nSAVE Rolleston (Consented to town centre).
- PAK'nSAVE Papanui (Resource Consented)
- PAK'nSAVE Moorhouse Ave
- PAK'nSAVE Wainoni
- New World Prestons Road
- New World Durham Street
- New World Ravenswood

The proposed design for the Rolleston PAK'nSAVE has been designed in a vernacular style, appropriate and sympathetic to the region, and is considered appropriate for its location from a built form and architectural perspective.

Directors

Regan Hall NDAT BArch(Hons) ANZIA
Niko Young NZCDArch BArch(Hons) FNZIA
Matthew Mitchell BArch(Hons) ANZIA
Hamish Wixon BBS BArch(Hons) FNZIA
Sherree Hasler

Consultant Practice Manager



This is a new-build project on a prominent Rolleston corner site located at 157 Levi Road, Rolleston. The PAK'nSAVE will provide a significant asset to the Rolleston community with safe accessible parking facilities and a high standard of Landscape amenity.

The key elements of the proposed development include:

- New PAK'nSAVE supermarket facility including 'Click and Collect' area and screened goods delivery and store.
- Ancillary development of the site associated with the supermarket including site access, car parking and landscaping.
- Signage – consisting of integrated façade signage, and freestanding signage to main building
- Demolition of the existing residential dwelling and accessory buildings associated with 157 Levi Road.

SITE

The site is triangular in shape and has an area of 71,831m². There are two road boundaries; the north-eastern boundary aligns Levi Road, with Lincoln Rolleston Road forming the south west boundary.

The development is contained at the north eastern end of the site, with the south eastern extent of the development area defined by an internal access serving the customer carparking area and restricted staff parking / goods delivery / storage areas. The north-eastern boundary of the development area will be fenced with a 2m high timber boarded fence and a 10m-wide strip of planting extending along its length.

Three two-way vehicle access points are proposed to the site; one central to the Levi Road Boundary; one central to the development boundary on Lincoln Rolleston Road, and the third located on the southern development corner – also on Lincoln Rolleston Road.

One 'entry only' access is proposed at the northern boundary junction, and one 'exit only' access at the eastern carpark extent on Levi Road.

The new market is to be located approximately 50m from the Levi Road boundary (excluding canopies), approximately 18.5m from the internal north-eastern boundary; and approximately 102m from the Lincoln Rolleston Road boundary measured from the centre of the main entry elevation.

The building footprint is 7232m².

There are 517 car parks provided on-site including 10 Accessible parks and 3 taxi pick-up / drop-off points. The only customer entrance is each side of the central projecting bay to the southwest frontage.

The building is essentially one storey with an administration mezzanine level to the eastern corner, and staff areas, service spaces and plant to a mezzanine level central to the north east elevation.

The goods and service drive through delivery yard area adjoins the Northeast boundary. The entrance to this yard is central to the north east elevation under a canopy extended from the bulk store, with the exit to the south east. This provides a clear and safe separation between public and service vehicles. Refer to Ableys Transport report for further detail on traffic flow and access to the site. The service delivery yard area is fenced to provide a secure and screened enclosure.



The proposed supermarket site (zoned Living Z Zone) currently houses a single residence with associated out-building shed structures that will be demolished to make way for the new supermarket.

The existing landscaping consists of mature shelterbelt hedging and grass.

The existing site is relatively flat with a gentle slope from north to south. The building floor level has been set to comply with the 1:200-year flood (5% probability) modelling from ECan, with a defined floor level of 48.20m above sea level (an approximate average of 200mm above existing ground level). This provides sufficient surface water fall away from the building in all directions, while maintaining a suitable level relationship with all boundaries. There will be some cut to the North of the site, and fill to the south of the site to achieve this, with an approximate net cut/fill volume of 600m³ - refer to the Civil documentation for further information.

BULK AND LOCATION

The bulk & location commentary summarised below refers to the site at 157 Levi Road housing the proposed new PAK'nSAVE Supermarket.

Ground floor gross area =	7,232m ²
First floor gross area =	876m ²
The total gross floor area of all levels is =	8,108m²
Total Site Area	71,831,m ²

The site (building) coverage is approximately 10%.

The building comprises a gable ended main roof, a lean-to structure to the Bulk Store and a sloping roof behind the parapet to the main entry structure to the South West Elevation. An integrated 'Click and Collect' Canopy projects from the North West Elevation.

The height to the main roof ridge is 12.32m above finished floor level, or approximately 12.52m above existing ground level. The height of the main entry structure is 10.5m above finished floor level or approximately 10.7m above existing ground level.

The height of the eaves to the North West and South East Elevations is 7.4m above finished floor level. The Click and Collect Canopy is set at 4.5m above finished floor level.

The height to the eaves to the lean to roof to the bulk store is 7.4m, with canopy at 4.5m above finished floor level.

The new supermarket plan is generally rectangular in form with various rebates and projections forming the entry/exit points for either vehicles or pedestrians.

The building position is located toward the north east of the site with the back of house service yard bounding the north east internal (rural) boundary, leaving the south west frontage open for public carparking easily navigated off the two arterial frontage roads.

Within the site, the curtilage provided by open carparking and landscape surrounding the building provides visual awareness on approach aiding access and way finding within the site. The building siting also



maximises the 'street address' to both Levi Road and Lincoln Rolleston, with these facades the most active in terms of visual and customer interface.

There are two main public entries to the market centrally located on the south west face. Accessibility to the market is via accessible walkways adjacent to the entry.

Service vehicle and truck deliveries circulate in one direction via the screened yard area with canopy over on the north east side of the building. Unloading is confined to this area and separate to the public carpark and public entry. Additional servicing also located here is fully enclosed by a secure 2m high fence with truck access gates to the north and south. Having the service area with associated truck turning movements out of public sight and separate to the public interface provides a safer pedestrian environment with entry and exit to the supermarket. It also avoids both congestion and excessive heavy vehicle manoeuvres through the site.

The roof form over the bulk of the market is a gable; with gable-ends facing north west and south east respectively.

Refer to sheets No. RC04 - RC07, which indicates the various building heights.

The mass of the building is minimised to the main road elevations by creating depth and transparency revealing the internal volumes and activity within. The building and roof orientation, locates the ridge (high point) central to the site, away from all boundaries – this mitigates bulk to the building perimeter. Solid roof edge forms frame the building, specifically at the eaves and low points to the roof, with transparent glazed facades below. Vertical expressed structure and screening provides depth and introduces relief to the glazed facades with shadow and filtered fenestration.

DESIGN

The proposed PAK'nSAVE provides a well-balanced and articulated building volume that engages with the dual Levi and Lincoln Rolleston Road frontages. The building – due to functional drivers such as efficient goods shelving, internal circulation access/egress, perimeter serviced areas, store and checkout operations; is approximately rectangular in plan. Articulated and modelled facades respond to street and solar orientation, with intent to create a building that has a variety of clearly articulated component parts to break down mass. Structural details are expressed throughout in order to provide interest and a rhythm to the building.

Finer grain materials and textures softened by integrated landscaped edges respond to the residential context and 'human scale' at points of activation and customer interface with the building.

Roofs overhang as large eaves supported by projecting wing walls that help create shadow and therefore visual interest to the façade as well as providing some degree of solar protection to the windows. These wings are especially obvious to the north west and south east façades.

Public entry to the proposed new market is via the south west-facing glazed façade (facing the carpark and Lincoln Rolleston Road) and large pedestrian canopies/pergola roofs set below a standard branded PAK'nSAVE floating wall, generating an inviting, weather protected, and transparent approach. The double height volume experience at entry continues as you progress through the market and provides connection to the exterior context with an abundance of glazing both at high level to the east & full height to the west. The retail spaces will be penetrated by natural light, providing a more pleasant shopping experience, and in addition drawing further attention to the activity within from the exterior. Vertical expressed steel



structure to the south west, entry, and south east facades combine with grated screening at high level to provide visual relief through varied depth and shadow, and decreases the level of reflection from the glazing. Both glazed building frontages provide activation to the Levi Road and Lincoln Rolleston Road aspects.

An administration mezzanine level is located above the north eastern corner of the retail / office area, with a light filled main access stair fully glazed to the north west. This promotes visual interest to this corner and highlights the movement within while allowing staff navigating the stairs to engage with the wider site context.

A second mezzanine floor is located internal to the North East Elevation located over the back of house service areas. Service, plant and staff areas are located within this floor plate along with an area which can be opened to the exterior for staff facing the morning sun. The mechanical services plant room is located centrally along this building line.

Refrigeration condenser units are located in a small concealed lean-to structure located on the South East Elevation, appropriately enclosed screened from residential zones.

The gable ridge falls to the north east, and with a further set-down section of lean-to roof housing the back of house bulk store, reduces mass and mitigates associated sun shading effects to the nearest residential properties on the opposite side of Levi Road and the adjoining rural property.

A central focus was to design a building that is interesting and well modelled through articulation of facades, with varied transparency, depth and shadow lines that are aimed at reducing the bulk of the building as much as possible. To assist this concept the building form has been softened with vegetated street edges and a natural recessive earthy Palette of colours.

The Landscape concept design (refer to Rough Milne and Mitchell Landscape Design documentation) is integral to the approach of embedding the building into the Rolleston context. While softening the building and providing significant visual and pedestrian amenity, the landscape projects and reinforces key building 'axis', such as the main entry points. Building siting and orientation also intentionally provide opportunity for location specific planting, following the theme of a building envelope which also responds to orientation. Site-wide planting assists with further screening and moderation of the building mass.

There are two proposed freestanding pylon signs 10m high and 2m wide. They are respectively located at the main site entry points on Levi Road and Lincoln Rolleston Road – refer to Location Plan RC01 and Site Plan RC02. Located adjacent to boundaries, the standard sign construction provides an introductory hint of the building beyond which is largely screened by planting. These signs provide clear directional indication of site entry point.

In addition, there are four other smaller 1.5m high by 1.2m wide access signs. They are clear directional indicators for points of entry, exit, and notifying the goods only access to the rear of site. Refer RC02 and RC08. Low level, these signs sit within landscaped gardens.

ELEVATIONS

Southwest Elevation (Lincoln Rolleston Road)

This is the primary building elevation, and it fronts onto the main car park. There is a centrally located glazed double height entry structure with two approach paths. The line of glazing is set back 1.0m from the front face of this structure so as to provide interest. In addition, the projecting wing walls and grated metal screens provide a degree of solar control during the summer months.



The entry structure is capped off with a simple band of the PAK'nSAVE standard colour. At 13.25m wide (39.75m²) the integrated PAK'nSAVE sign is comfortably proportionate to the entry façade aligning with 3 out of 7 'structural bays' to the entry structure below.

The entry has two deep canopies providing weather protection at each entry point and allows the architecture to pronounce entry. Pedestrian footpaths skirt the frontage and extend into the carpark via nominated paths and crossings providing a safe easily navigated environment. Both steel structure and the roof planes are highlighted in the façade.

Pergola elements, including seating, are included to each end of this elevation – favouring the north west building corner and main pedestrian site links with an extended canopy to this corner.

Behind these pergolas there is an off-form board finish to the precast panels to a height of 3.0m AFL.

Above the pergola there is a band of prefinished vertical profiled metal cladding and above this cladding are windows to the first floor to the left.

Projecting from the building entry points an 'Arbor' provides visual interest between market and road (refer to Rough Milne and Mitchell Landscape Design documentation).

Northwest Elevation (Levi Road)

This elevation shows the drive through 'Click and Collect' canopy as a central integrated projection from the façade. Supported on vertical steel fins – the canopy design is a direct link and continuation of the building facade fin structures adjacent.

To the right a large band of glazing will provide transparency and access to daylight and outlook from within. With integrated roof overhang, intermediate horizontal grated screens link vertical fins to provide relief and control from sun.

Contained by the vertical fins, the precast panels here are in a lighter 'natural' off-form board finish, softened with a band of planting to the base. These panels anchor the high-level glazing to this frontage and provide a discreet low-level secure barrier to the market.

The high-level façade is clad in profiled sheet metal, with a step-down lean-to forming the bulk store located to the left (east). The intent of the bulk store panel step-down and natural smooth finish is to appear recessive from the main building mass. A horizontal trapezoidal form to the base of these panel provides visual interest and rhythm to this otherwise blank precast wall.

A central standard PAK'nSAVE building sign sits between the ridge of the building and 'Click and Collect' canopy. At 10m wide (22m²) the integrated sign is proportionate with the structural bays which form the canopies and adjacent window bays to the market.

Northeast Elevation

This elevation includes the service areas and first floor staff facilities and the entry to the central drive through store yard. The plan steps in and out to this façade and combined with the lower canopy (4.5m from AFL) with expressed structure significantly reduces bulk to the rural internal boundary adjacent.

The horizontal trapezoidal form finish to the base of the Bulk Store panels continues from the north west here, articulated to provide further visual interest, and to provide a finer texture relatable to the rural context and proposed 'biodiversity planting strip' adjacent.



A deck opening off the staff room is approximately centre-positioned.

The remainder of this façade is clad in profiled metal sheet, with black oxide horizontally off-form concrete panels providing continuity and a robust building

Various roof top plant including penthouse structures are to be located on the roof. Their exact locations are to be confirmed at the detailed design stage. Any significant plant would be screened or concealed behind building facade.

Southeast Elevation

This elevation expresses the gabled end roof shape and faces internally to the site with an acute visual connection to/from Lincoln Rolleston Road.

In line with the opposite gable end (north west) there is a projecting (1.2m) deep roof overhang to the top light windows that is supported by wing walls that provide both interest and a degree of solar control to these windows. This band of glazing will provide significant natural light to the market within. The precast panels here are in a lighter 'natural' off-form board finish, softened with a band of planting to the base.

Adjacent there are black oxide horizontal off-form concrete panels to the base of this wall and enveloping the refrigeration building to a height of 3m and 4.4m AFL respectively. Above this is a band of prefinished vertical sheet metal cladding.

The main entry structure, pergolas with expressed structure are shown to the left-hand end and the overhanging roof to the service areas is shown to the right-hand end.

MATERIAL PALETTE & COLOURS

The building comprises the following materials:

- Prefinished metal insulated panels
- Precast profiled concrete panels, painted
- Black oxide textured precast concrete panels (Timber plank form)
- Natural sealed textured precast concrete panels (Timber plank form)
- Pre-finished zincalume cladding
- Pre-finished profiled zincalume roof cladding
- Galvanised steel grated screens
- Expressed black painted steel structure

These materials have been selected to offer a robust palette offering the best solution for the building form and site context.

Textured concrete precast panels both black oxide and natural grey generate texture and scale, reducing glare with natural recessive tones. The prefinished metal cladding maintains this approach.

The contrasting PAK'nSAVE yellow wall panels (insulated panel) provide a bold reference point for both signage and wayfinding to the site.



Colours, apart from the standard yellow wall panel are generally dark and/or neutral earthy tones appropriate for the setting.

Other highlight colours are black to the structural steelwork, galvanised steel grated screening and black aluminium window joinery.

Refer to the Sheets RC04 -RC11 for the proposed colour scheme and material palette.

GREEN BUILDING INITIATIVES

Foodstuffs South Island Ltd is continually striving to reduce its carbon footprint wherever possible and the following initiatives are proposed to be incorporated into the design of the new Rolleston PAK'nSAVE Supermarket in line with this aim:

- Insulation values that exceed Building Code requirements
- Use of New Zealand Green Building Council approved products
- Argon filled low-E double glazing used throughout (including main entry glazing)
- Use of natural light to main retail area
- CO² refrigeration systems (no C.F.C. Coolants)
- Heat recovery from refrigeration system for heating
- Photovoltaic Solar Panels for electricity generation
- Energy efficient light fittings
- Energy Efficient Hot Water generation.
- Passive solar design
- EV Charging stations

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16th December 2021