

Proposed Pak'nSave Supermarket

157 Levi Road, Rolleston (RC216016)

Graphic Attachment to accompany Statement
of Evidence of Tony Douglas Milne.

18 July 2022



Contents

PROJECT: Proposed Pak’nSave Supermarket	
ADDRESS: 157 Levi Road, Rolleston (RC216016)	
DATE: 18 July 2022	
REVISION: 0	
STATUS: Evidence	
REFERENCE: 21202	
PREPARED FOR: Foodstuffs South Island Ltd	
PREPARED BY: Rough Milne Mitchell Landscape Architects Ltd	
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Location Context Plan

Legend

The Site

Scale 1:25,000 @ A3
Data Source: canterburymaps.govt.nz



Rolleston Structure Plan

Legend

Study Area

Railway

National Arterial

Main (primary) roads

Proposed main (primary) roads

Local (secondary) roads

Proposed local (secondary) roads

Local (minor) roads

Walking and Cycling Link

Town Centre

Neighbourhood Centre

Local Centre

Comprehensive Housing

Medium Density Residential (20HH/Ha)

Medium Density Residential (15HH/Ha)

Low Density Residential (10HH/Ha)

Low Density Residential (7HH/Ha)

Community Facilities

Education Facilities

Green Corridors and Green Belt

District Park

Recreation Precinct and Reserves

Rural land

Avenue Planting

Izone Southern Business Hub

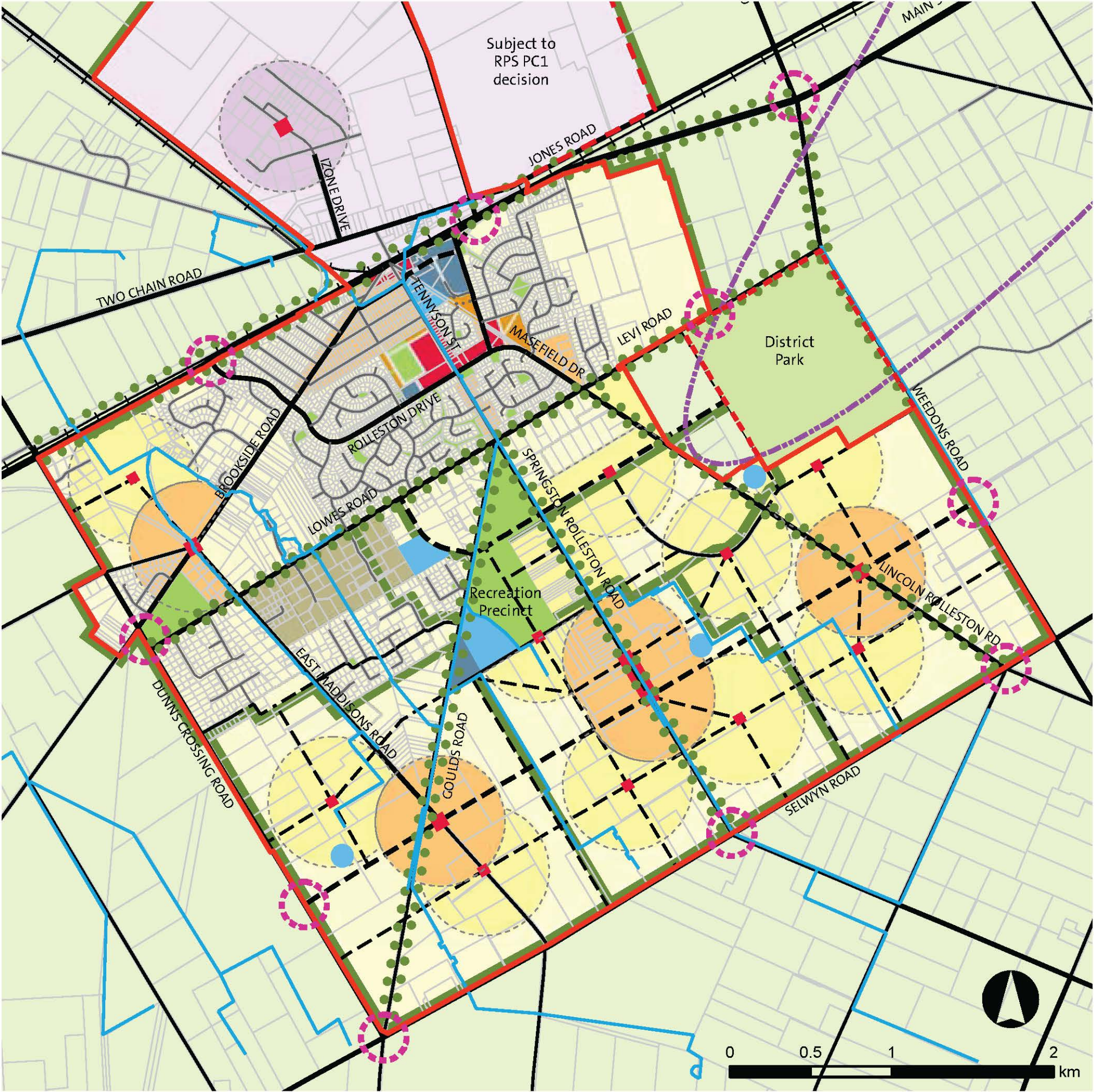
Water Races

Noise Contour

5 Minute Walk (400m)

Key Gateways

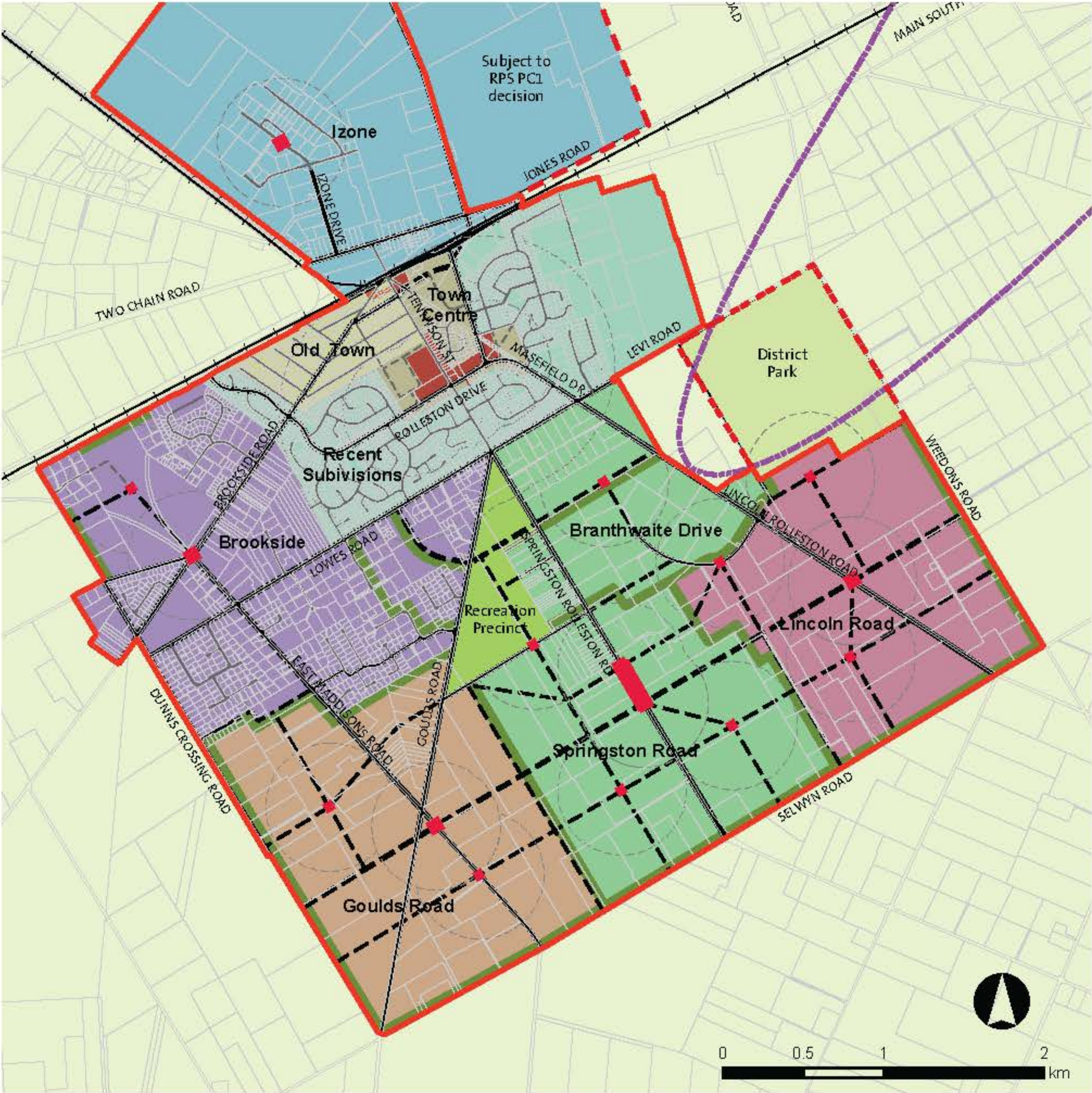
Data Source: eplan.selwyn.govt.nz








Neighbourhood Areas Plan



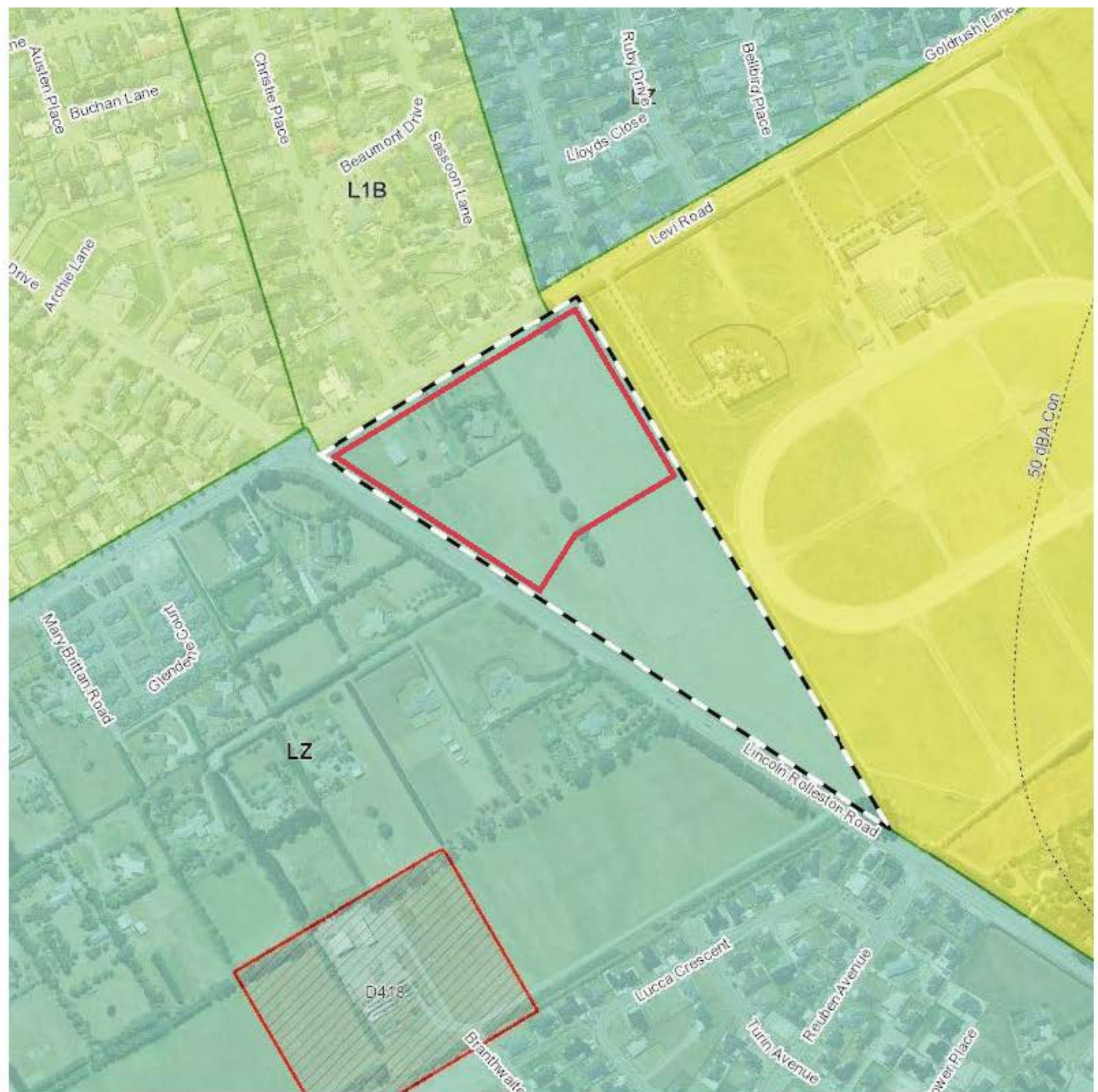
Data Source: eplan.selwyn.govt.nz



Selwyn District Plan (SDP)

Legend	
	Living Z
	Living 1/8
	Inner Plains
	The Site
	Application Site at 157 Levi Road


 Not to Scale
 Data Source: eplans.selwyn.govt.nz



Proposed Selwyn District Plan (PSDP)

Legend

General Residential Zone

General Rural Zone

The Site

Application Site at 57 Levi Road

Not to Scale

Data Source: planselwyn.govt.nz



Outline Development Plan (ODP) for The Site

SDP ODP - Area 4



- Legend
- | | | | | | |
|--|-----------------|--|------------------------------------|--|---------------------|
| | ODP boundary | | Indicative location for water bore | | Medium Density |
| | Parcel | | Low Density (1000m²+) | | Interface treatment |
| | Primary Route | | Low Density | | Neighbourhood Park |
| | Secondary Route | | | | |



Not to Scale
Data Source: eplan.selwyn.govt.nz

PSDP ODP - Rolleston 1 Development Area



- Legend
- | | | | |
|--|-----------------------------------|--|---|
| | Outline development plan area | | General Residential zone |
| | Fixed road | | Reserve location (size to be determined at time of subdivision) |
| | Indicative road | | |
| | Indicative cycle/pedestrian route | | |

Site Context Plan

Legend



Site Photograph Location



The Site

Existing Site Features

1. Large Gum tree
2. Leyland cypress shelterbelt
3. Vehicle entrance
4. Dwelling & curtilage
5. Farm shed
6. Row of Gum trees
7. Hedgerows & tree avenues
8. Paddocks
9. Shelterbelt in neighbours property

Site Context Activities

- A. Allstar Harness Racing
- B. Residence at 139 Levi Road
- C. Lifestyle block residences
- D. Roundabout of Levi, Lincoln - Rolleston, Lowes Roads & Mansfield Drive.



Scale 1:2,000 @ A3

Data Source: canterburymaps.govt.nz



Site Photographs

1. From Levi Road, looking Southwest towards the main site entrance.
2. From Levi Road, opposite the main site entrance, looking Southwest towards the roundabout.
3. From Levi Road & Beaumont Drive intersection, looking Northeast along the sites northern road frontage.
4. From Levi Road looking Northwest from the proposed entrance way.



Site Photographs

5. From Levi Road looking south across the proposed site.
6. From Levi Road and Lincoln Rolleston Road Roundabout looking east towards the proposed site.



Site Photographs

7. From Levi Road and Lincoln Rolleston Road Roundabout looking West towards the Rolleston township.
8. From Levi Road, looking North from the proposed site towards Beaumont Drive entrance.



Site Photographs

9. From Levi Road, looking Northwest from the proposed site towards Beaumont Drive entrance.
10. From Lincoln Rolleston Road looking South from the proposed site towards an existing dwelling.



Site Photographs

11. From Lincoln Rolleston Road
looking North across the proposed
site.



Landscape Plan

Legend

Boundary

Select Paving

Asphalt

Low retaining wall / freestanding wall

Pylon and welcome signs

Evergreen & deciduous trees

Car park trees in structural root cell modules / tree pits

Cabbage & lancewood trees

Low hedging adjacent to taller pleached hedging

Mixed shrub planting

Mixed tussock / grass planting

Stormwater basin

Arbor with climbing plants above pedestrian pathway (Refer to detail)

Cycle parking

Timber fence (1.8m high)

Rock Boulders

Seating

Notes

The final Eastern boundary interface and positioning of the acoustic fence is dependant on the future zoning / development of the neighbouring land.

OPTION A will be implemented if the adjacent land remains Rural. OPTION B will be implemented if the land is developed for Residential purposes under PC71.

For graphic purposes, both Options A & B are displayed on this plan.

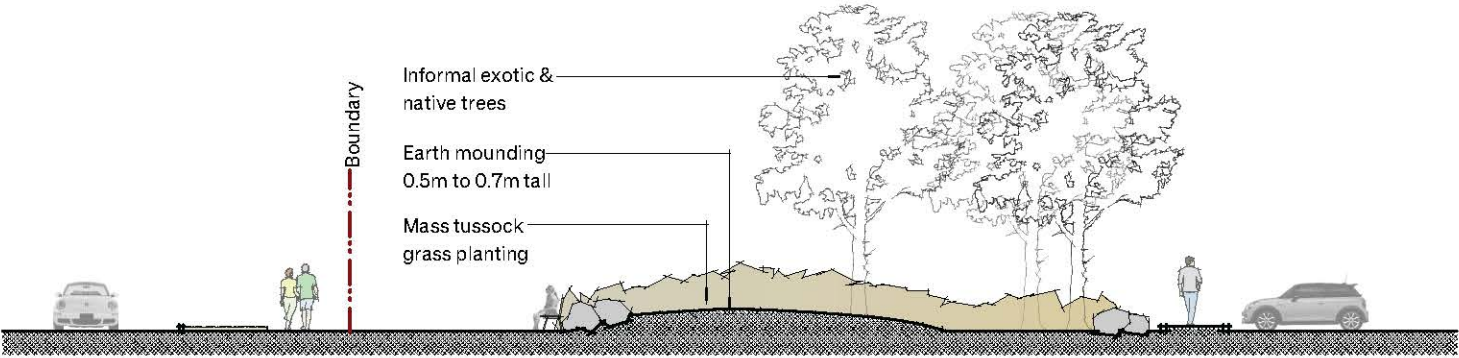
While the tree planting is the same for both options, the shrub planting differs. Option A includes a mix of tall and short shrub planting species, whereas Option B only includes short shrub planting species and therefore is more open and a more appropriate interface to PC71.

For road frontage signage details, refer to the architects documents.

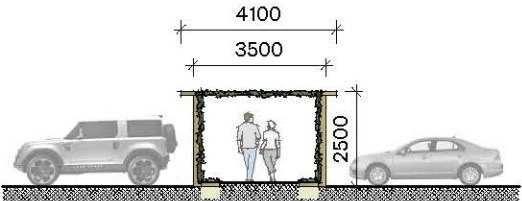


Scale 1:1,000 @ A3

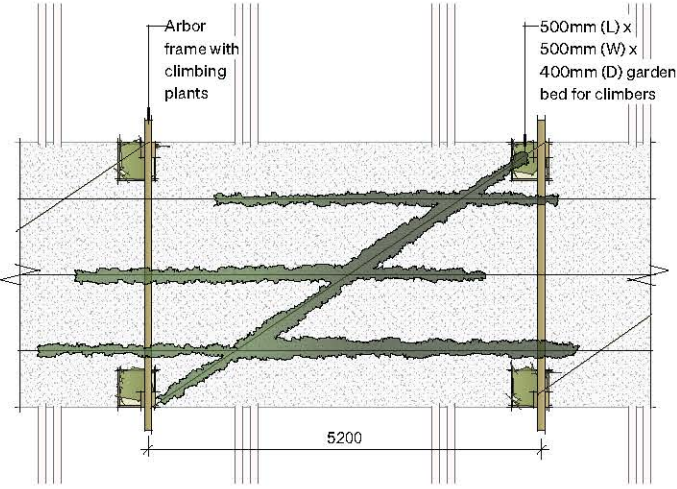
Cross Sections



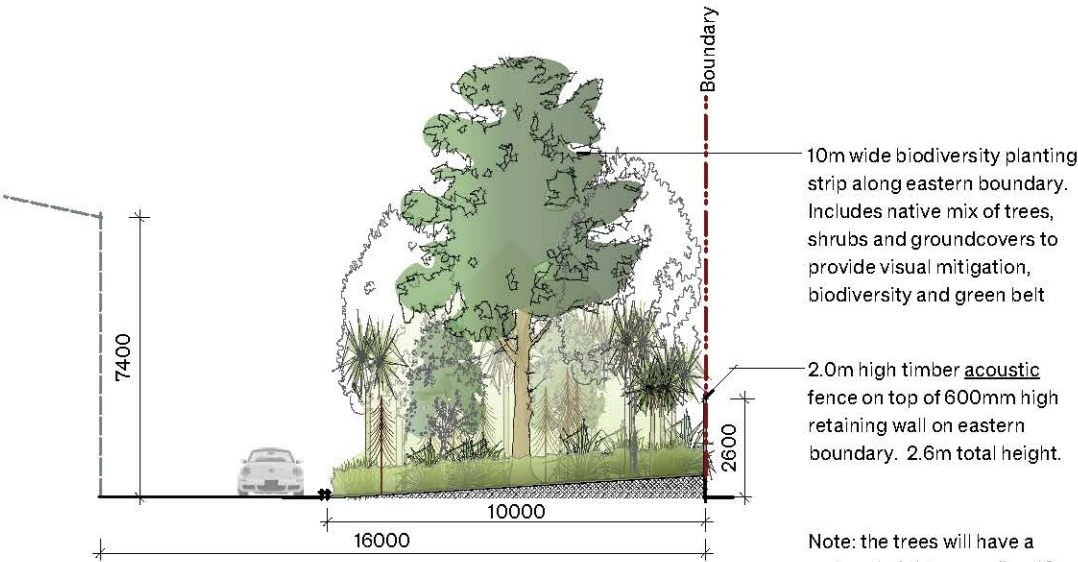
1 CROSS SECTION A-A



2 CROSS SECTION G-G
TYPICAL ARBOUR STRUCTURE

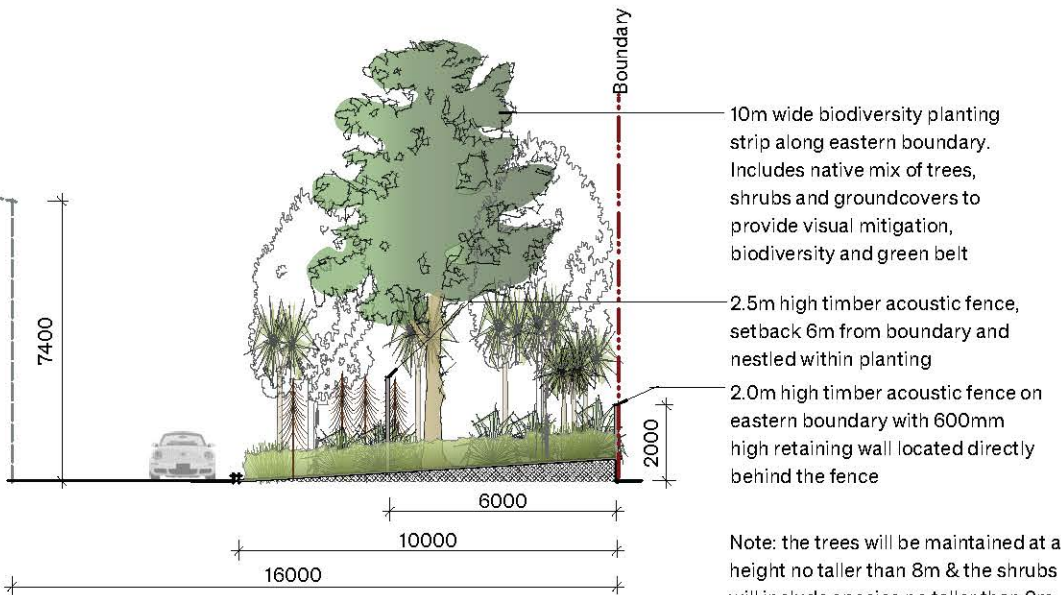


3 TYPICAL ARBOR STRUCTURE & CLIMBERS - PLAN



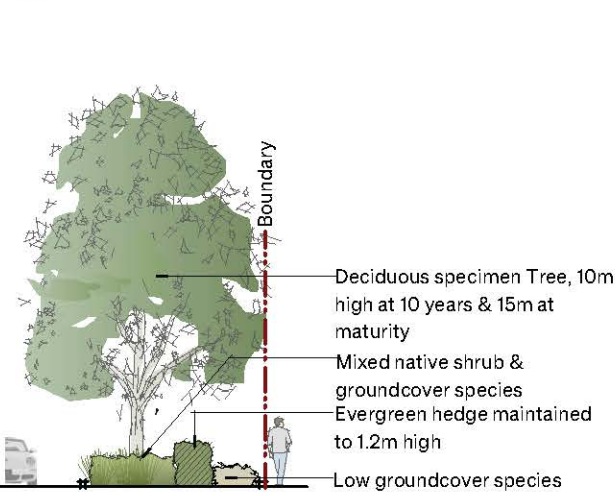
Note: the trees will have a mature height exceeding 10m & the shrubs will include taller species up to 5m high.

4 CROSS SECTION C-C (OPTION A)

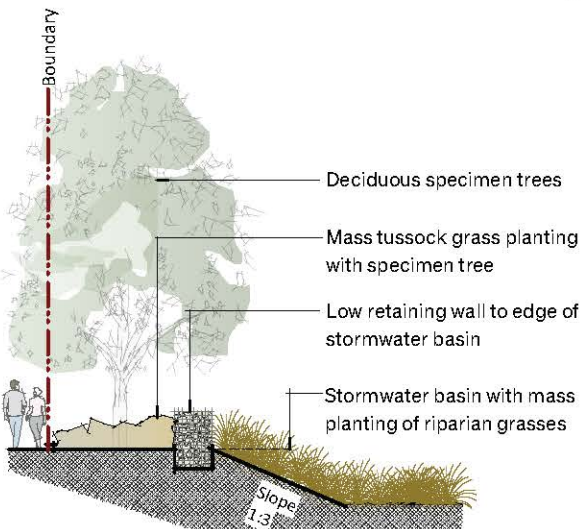


Note: the trees will be maintained at a height no taller than 8m & the shrubs will include species no taller than 2m high.

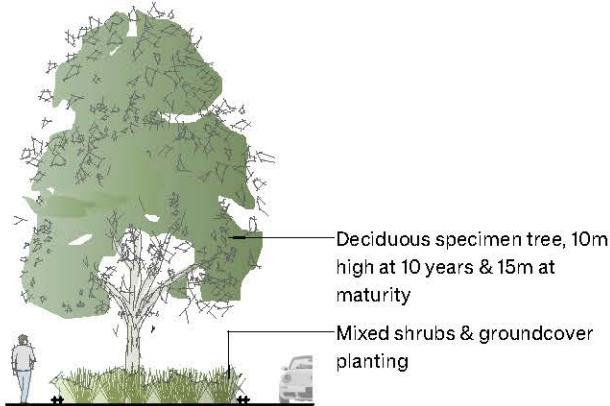
5 CROSS SECTION C-C (OPTION B)



6 CROSS SECTION B-B



7 CROSS SECTION D-D



8 CROSS SECTION E-E



9 CROSS SECTION F-F

Scale: 1:200 @ A3

Tree Species

- A *Fuscospora cliffortiodes* (Mountain beech)
- B *Alnus jorullensis* (Mexican Alder)
- C *Plagianthus regius* (Ribbonwood)
- D *Corokia 'Geentys Green'* (Green Corokia)
- E *Lireodendron tulipifera 'fastigiata'* (Upright Tulip Tree)
- F *Carpinus betulus* (Pleached Hornbeam)
- G *Sophora microphylla* (Kowhai)

INDICATIVE PLANT SPECIES

Levi Road Frontage
Trees - *Platanus 'Autumn Glory'*
Clipped hedge – *Coprosma Lobster* or *Corokia 'Geentys Green'*.
Mixed shrub planting – *Arthropodium cirratum*, *Astelia 'Westland'*, *Dianella nigra*, *Echinacea 'White Swan'* etc.
Groundcover planting – *Muehlenbeckia axillaris*, *Coprosma acerosa*, *Carex testacea*, etc.

Lincoln – Rolleston Road Frontage
Tree planting - *Alnus jorullensis* (Mexican Alder).
Mixed shrub planting – *Arthropodium cirratum*, *Astelia 'Westland'*, *Dianella nigra*, etc.
Low groundcover planting – *Phormium spp*, *Hebe spp*, *Astelia spp*, *Brachyglottis spp*, etc.

Southern Access Road & Staff Seating Area
Tree Planting - *Platanus 'Autumn Glory'*, *Lireodendron tulipifera 'fastigiata'*, & *Sophora microphylla* (kowhai).
Pleached hedge – *Carpinus betulus* (Hornbeam).
Clipped hedge – *Griselinia littoralis 'Broadway Mint'*.
Mixed shrub planting – *Arthropodium cirratum*, *Astelia 'Westland'*, *Dianella nigra*, etc.
Low groundcover planting – *Phormium spp*, *Hebe spp*, *Astelia spp*, *Brachyglottis spp*, etc.

Attenuation Basin
Informal tree planting - *Plagianthus regius* (Ribbonwood), *Cordyline australis* (Cabbage Tree) & *Pseudopanax crassifolius* (Lancewood).
Mixed flax, grasses, and sedges - *Carex secta* (pukio), *Carex virgata*, *Juncas spp*, *Chionochloa rubra*, *Apodasmia similis* (oioi), *Phormium cookianum*, *Carex flagellifera*, *Carex geminate*, *Eleocharis acuta*, etc.

Car Parking Areas
Tree planting – *Alnus jorullensis* (Mexican Alder), *Platanus 'Autumn Glory'*, *Lireodendron tulipifera 'fastigiata'*, *Cordyline australis* (Cabbage Tree) & *Pseudopanax crassifolius* (Lancewood).
Low groundcover planting – *Dianella 'Tas Red'*, *Dianella 'Little Rev'*, *Muehlenbeckia axillaris*, *Coprosma acerosa*, *Carex testacea*, etc.

Stormwater Basin/ Overland Flow Area
Informal tree planting – *Quercus coccinea* (Scarlet Oak), *Kunzea ericoides* (Kanuka), *Quercus coccinea* (Scarlet Oak), *Podocarpus totara* (Totara), & *Sophora microphylla* (kowhai).
Mixed tussock grass planting– *Poa cita* (tussock), *Chionochloa rubra*, *Chionochloa flavicans*, *Carex buchanani*, *Carex Testacea*, etc.

Building Edges
Medium height groundcover planting (north) – *Hebe spp.*, *Phormium spp.* & *Gaura spp.* (south), *Pseudowintera colorata* & *Dianella nigra*, etc.

10m wide Biodiversity Planting Strip
Mixed tree planting – *Fuscospora cliffortiodes* (Mountain beech), *Plagianthus regius* (Ribbonwood), *Sophora microphylla* (kowhai), *Pittosporum eugenioides* (Lemonwood) & *Cordyline australis* (Cabbage Tree).
Mixed shrub planting – *Olearia paniculata*, *Griselinia spp*, *Pseudowintera colorata* (Horopito), *Pseudopanax lessonii*, *Coprosma robusta*, etc
Understorey planting – *Anemanthele lessoniana*, *Dianella nigra*, *Astelia spp*, etc.



A



B



C



D



E



G



F

Perspective Render - From Levi Road

(Specimen trees shown at 5m spacings)



Perspective Render - From Lincoln-Rolleston Road

(Specimen trees shown at 5m spacings)



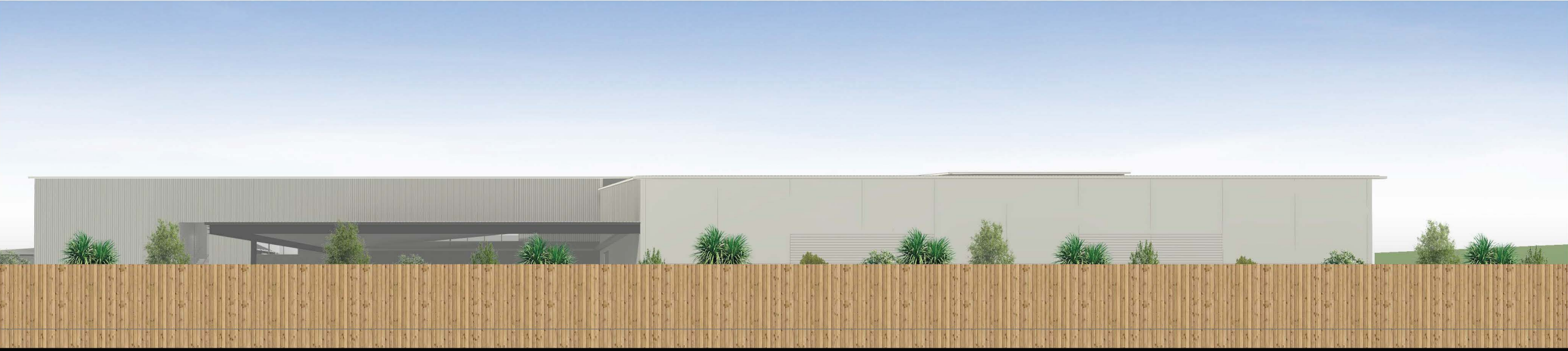
Perspective Render - From Levi Road and Lincoln-Rolleston Road intersection

(Deciduous exotic trees & native evergreen trees)



Elevation Render - North east boundary strip - Option A

Proposed landscaping and boundary interface if the adjacent land to the east retains a rural zoning.



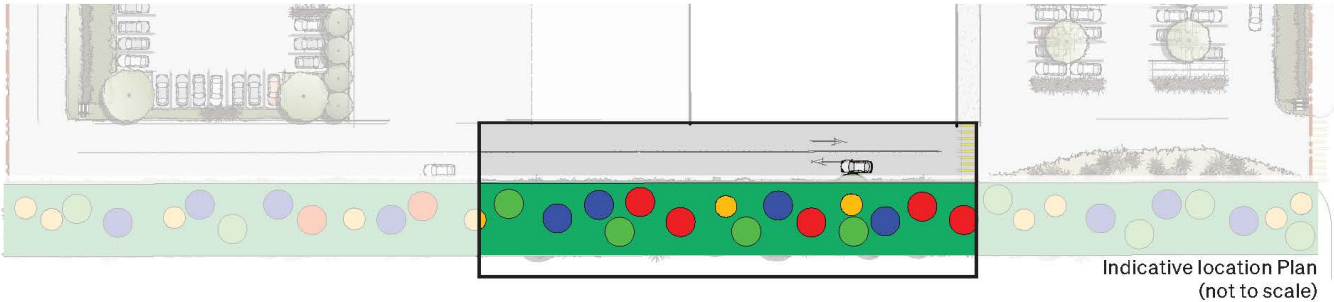
Planting shown at 5 years growth
Mountain Beech (3m high), Ribbonwood (4m high), Kowhai (3m high), Lemonwood (3m high) and Cabbage Trees (4m high).
Top of retaining wall below the fence shown with continuous line.



Planting shown at 10 years growth
Mountain Beech (5m high), Ribbonwood (5m high), Kowhai (5m high), Lemonwood (5m high) and Cabbage Trees (6m high).
Top of retaining wall below the fence shown with continuous line.

NOTE:
The render shows a 2.0m high acoustic timber fence on top of a 0.6m high retaining wall on the eastern boundary.
The tree planting includes: Mountain Beech (red dot), Ribbonwood (blue dot), Kowhai (yellow dot), Lemonwood (green dot) and Cabbage Trees (interspersed).
The shrub planting includes a mix of tall and short shrub planting and groundcovers. The max height of the tall shrub planting is 5m.

Note: the existing hedgerow in the neighbouring property will soften views of the boundary fence and retaining wall, but has been omitted from the montage given it is outside of the site.



Elevation Render - North east boundary strip - Option A

Proposed landscaping and boundary interface if the adjacent land to the east retains a rural zoning..



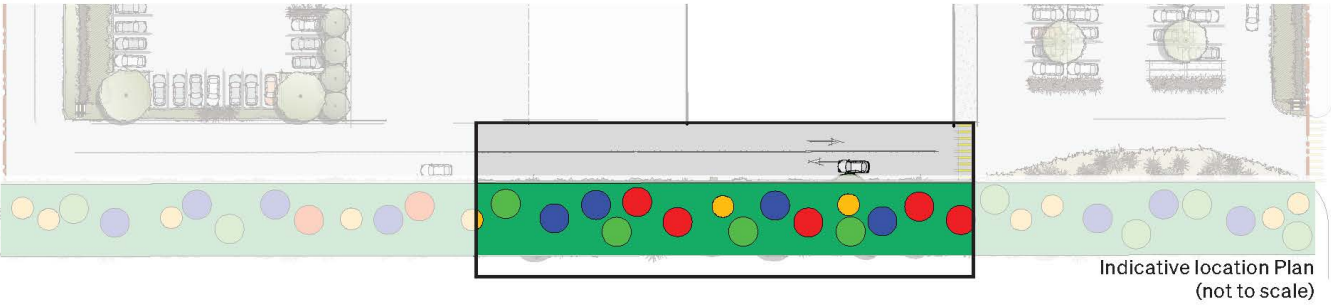
Planting shown at 15 years growth
Mountain Beech (7m high), Ribbonwood (7m high), Kowhai (6m high), Lemonwood (7m high) and Cabbage Trees (7m high).
Top of retaining wall below the fence shown with continuous line.



Planting shown at 20 years growth
Mountain Beech (10m high), Ribbonwood (10m high), Kowhai (6m high), Lemonwood (10m high) and Cabbage Trees (8m high).
Top of retaining wall below the fence shown with continuous line.

NOTE:
The render shows a 2.0m high acoustic timber fence on top of a 0.6m high retaining wall on the eastern boundary.
The tree planting includes: Mountain Beech (red dot), Ribbonwood (blue dot), Kowhai (yellow dot), Lemonwood (green dot) and Cabbage Trees (interspersed).
The shrub planting includes a mix of tall and short shrub planting and groundcovers. The max height of the tall shrub planting is 5m.

Note: the existing hedgerow in the neighbouring property will soften views of the boundary fence and retaining wall, but has been omitted from the montage given it is outside of the site.



Elevation Render - North east boundary strip - Option B

Proposed landscaping and boundary interface if the adjacent land to the east is developed for residential use under PC71.

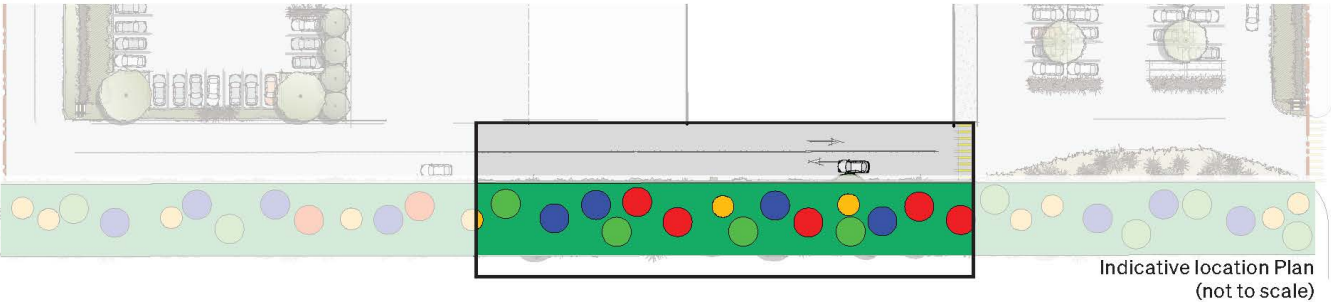


Planting shown at 5 years growth
Mountain Beech (3m high), Ribbonwood (4m high), Kowhai (3m high), Lemonwood (3m high) and Cabbage Trees (4m high).
Top of retaining wall behind the fence shown with a dashed line.



Planting shown at 10 years growth
Mountain Beech (5m high), Ribbonwood (5m high), Kowhai (5m high), Lemonwood (5m high) and Cabbage Trees (6m high).
Top of retaining wall behind the fence shown with a dashed line.

NOTE:
The render shows a 2.0m high timber acoustic fence on the eastern boundary. The 2.5m acoustic fence, setback 6m from the boundary is not visible given the perspective of the view.
The tree planting includes: Mountain Beech (red dot), Ribbonwood (blue dot), Kowhai (yellow dot), Lemonwood (green dot) and Cabbage Trees (interspersed).
The shrub planting includes only short shrub planting (2m high max) and groundcovers.



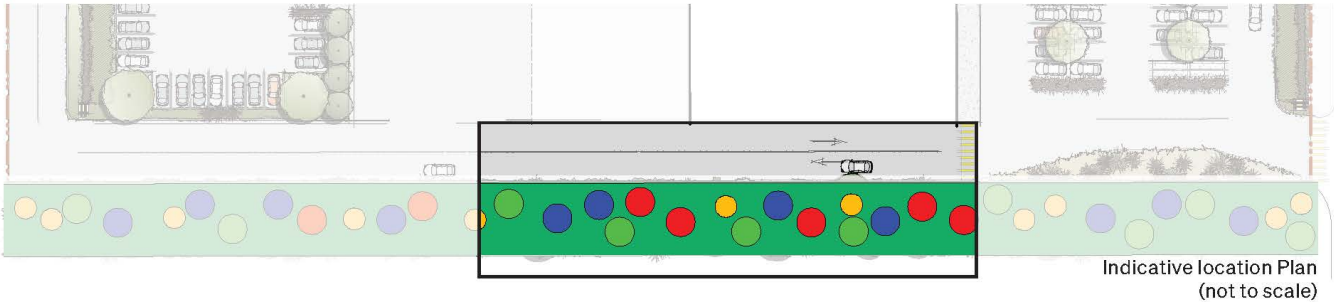
Elevation Render - North east boundary strip - Option B

Proposed landscaping and boundary interface if the adjacent land to the east is developed for residential use under PC71.



Planting shown at 15 years growth
Mountain Beech (7m high), Ribbonwood (7m high), Kowhai (6m high), Lemonwood (7m high) and Cabbage Trees (7m high).
Top of retaining wall behind the fence shown with a dashed line.
NOTE: The tallest trees will be maintained at a height between 7 & 8m high.

NOTE:
The render shows a 2.0m high timber acoustic fence on the eastern boundary. The 2.5m acoustic fence, setback 6m from the boundary is not visible given the perspective of the view.
The tree planting includes: Mountain Beech (red dot), Ribbonwood (blue dot), Kowhai (yellow dot), Lemonwood (green dot) and Cabbage Trees (interspersed).
The shrub planting includes only short shrub planting (2m high max) and groundcovers.



Elevation Render - North-West View



Elevation Render - South-East View



Elevation Render - South-West View



Potential Alternative Residential Development

Site Plan

Legend

- 3-Story dwelling units
- 2-Story dwelling units
- Common vehicle paving
- Common pedestrian paving
- Common paving threshold
- Common trees
- Common landscape
- Private landscape
- 5m site boundary setback
- Residential lots
- Proposed PakN'Save development site

Areas

Application Site:	7.24 ha
Dwelling footprints:	22,887m ²
Common hardscape:	17,310m ²
Common landscape:	11,650m ²
Residential sites:	450m ²

Residential Development Notes

303 dwellings in total
Three dwellings per 450m² site
Combination of two and three story dwellings
5.0m site boundary setback for landscaping
5 to 7m wide road corridors



Scale 1:2,000 @ A3

Potential Alternative Residential Development

Axonometric

Legend

3-Story dwelling units

2-Story dwelling units

Site boundary

Medium Density Residential Standards (MDRS)

The “alternative residential development” (ARD) for the Application Site is based on the MDRS introduced by the Resource Management (Enabling Housing Supply and Other Matters) Amendment Act 2021 (RMA-EHS).

1.

Number of residential units per site (maximum): 3

2.

Building height (maximum): 11m + 1m for pitched roof, NB. pitched roof = 50% of a building's roof in elevation, measured vertically from the junction between wall and roof, where the entire roof slopes 15° or more

3.

Height in relation to boundary (maximum): 60° recession plane originating 4m above ground level, applicable along all internal boundaries (not road boundary), except where existing or proposed common wall between two buildings on adjacent sites

4.

Boundary setbacks (minimum):

a.

Front – 1.5m

b.

Side – 1m

c.

Rear – 1m

5.

Building coverage (minimum): 50% of net site area

6.

Outdoor living space (minimum): ground floor 20m2 area, 3m dimension; above ground floor 8m2 area, 1.8m dimension

7.

Outlook space (minimum):

a.

from a principle living room: 4m x 4m space

b.

from all other habitable rooms: 1m x 1m space

8.

Windows to street (minimum): 20% glazing of the street-facing façade

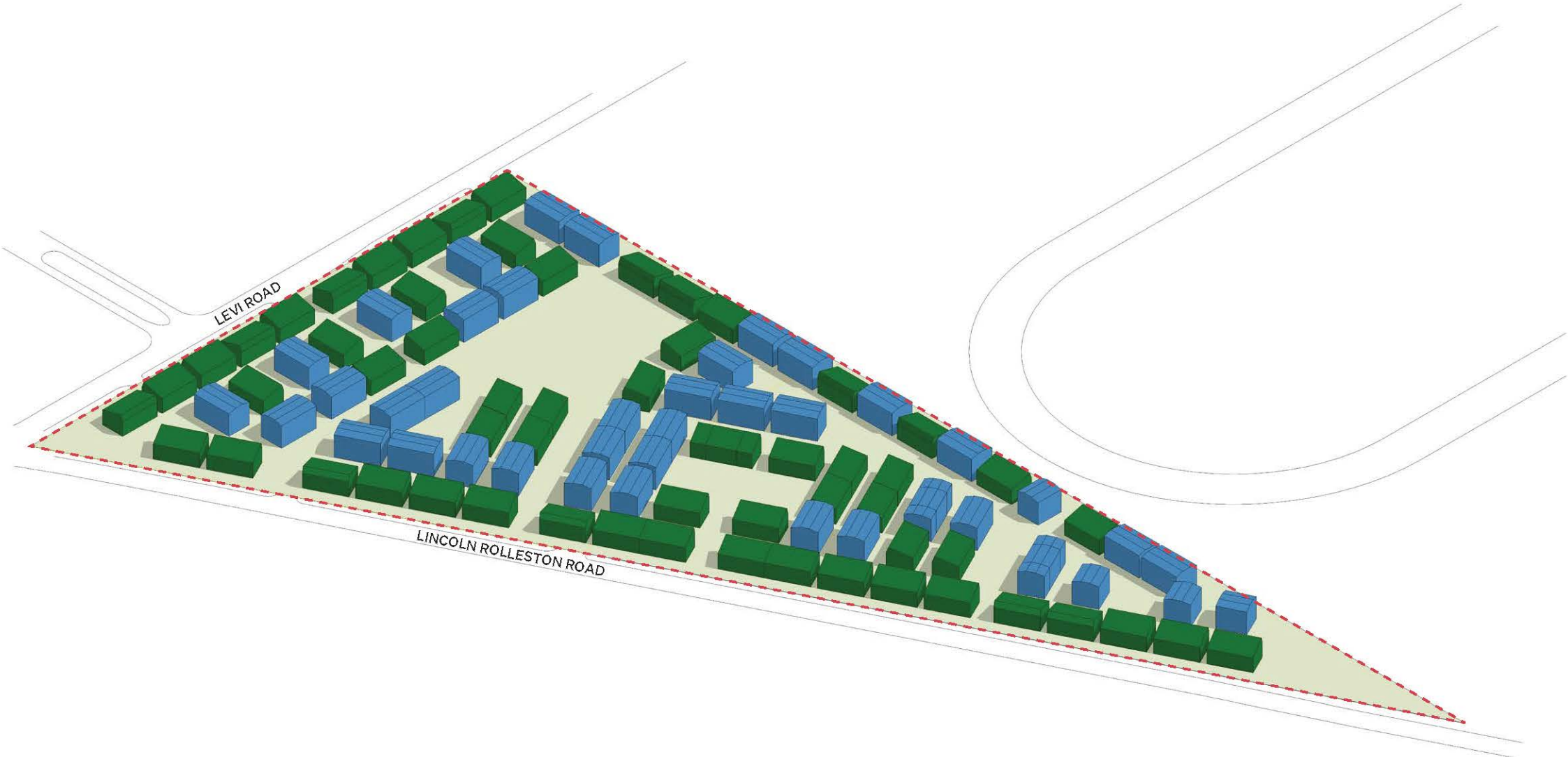
9.

Landscaped area (minimum): 20% of the developed site with grass or plants

10.

Subdivision for the purposes of the construction and use of residential units in accordance with the above MDRS requires consent as a controlled activity (must be granted)

Minimum lot size will be dictated by the ability to develop to the minimum density standards.



Potential Alternative Residential Development

Typical lot layout

Legend

2-Story dwelling units

Concrete

Patio pavers

Private lawn

Common landscape

Private planting

Pedestrian access

Lot boundary

Building minimum setbacks

Two story dwellings

7.5m high exterior walls
Plus 2.875m to roof apex (at 15deg)
Total 10.4m to highest point

Three story dwellings

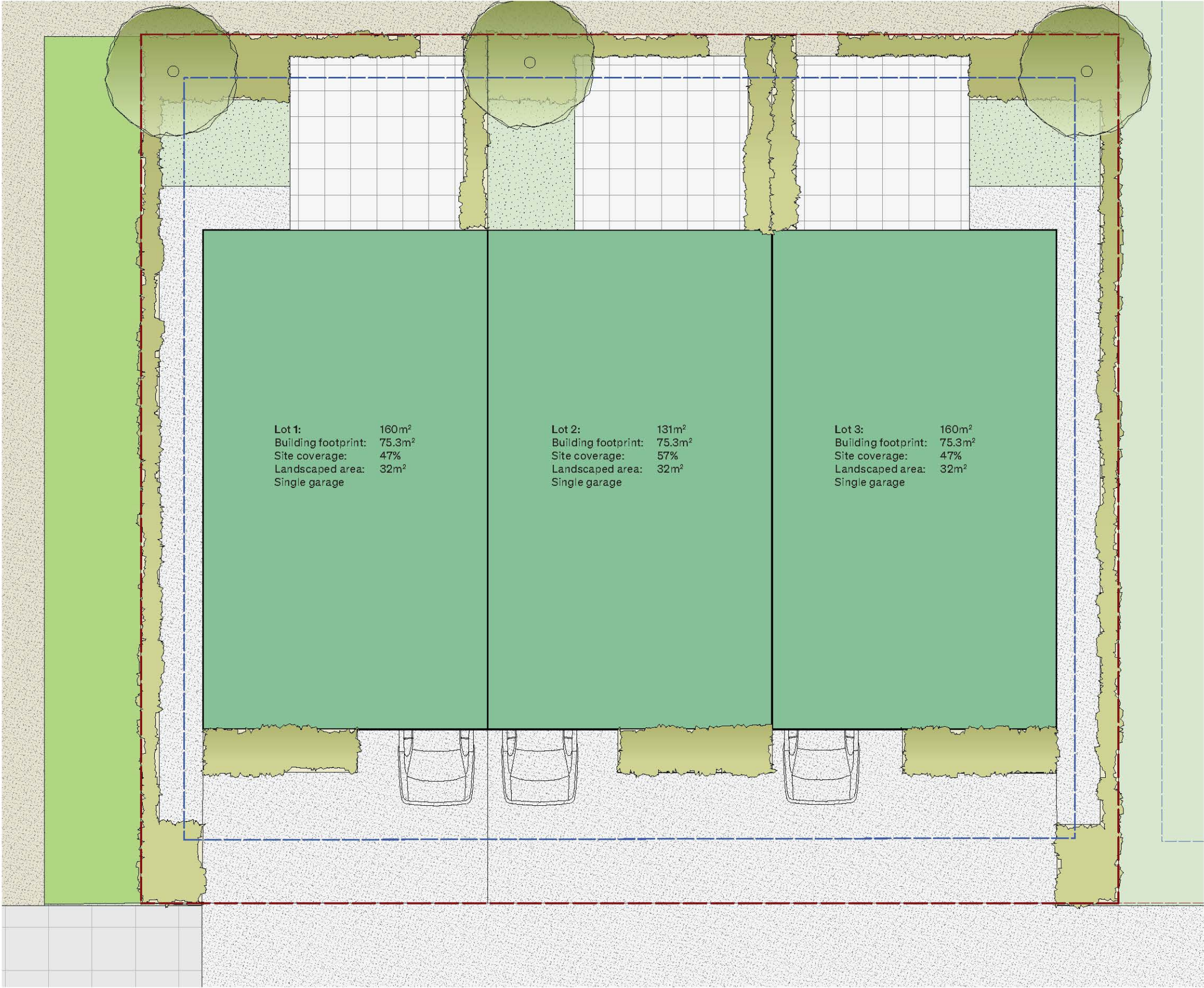
11m high exterior walls
Plus 1.0m to roof apex
Total 12m highest point

General dwellings

1.4m wide side setbacks
4.0m front setbacks
4.5m rear setbacks
4.0 x 4.0m outdoor living areas
Single car garage



Scale 1:100 @ A3



ROUGH MILNE MITCHELL
LANDSCAPE ARCHITECTS

Christchurch
Level Two, 69 Cambridge Terrace
Christchurch 8013
PO Box 3764 Christchurch 8140

info@rmmla.co.nz
+64 3 366 3268

Auckland
Level Two, 139 Victoria Street West
Auckland CBD, Auckland 1010

info@rmmla.co.nz

Dunedin
42 Stuart Street, Dunedin 9054

info@rmmla.co.nz
+64 3 477 2030

Wānaka
Level One, 24 Dungarvon Street,
Wānaka 9305
PO Box 349, Wānaka 9343

info@rmmla.co.nz
+64 3 974 7940

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rmmla.co.nz